

PLAN SHOWING THE PROPOSED (G+V) AFFORDABLE HOUSING COMPLEX OF DEVASHILPI ESTATE DEVELOPERS PRIVATE LIMITED on the land of 1. MAHADEO SHAW 2. URMILA DEVI BHALOTIA 3. SHYAM NARAYAN BHALOTIA at Ranisayer More ,Near HP Petrol Pump, Searsole Rajbari, Grand Trunk Road, (GT Road) National Highway-02 , L.R PLOT NO-48,50, L.R KH.NO - 208, 8431,8432 , Mouza- Searsole ; J.L.No.- 17, District -Paschim Bardhaman , P.S.- Raniganj , Pin Code - 713358, Under Asansol Municipal Corporation.

OFFICE USE ONLY

*Milans*  
Sub-Assistant Engineer  
Asansol Municipal Corporation  
Nayan Nayan  
22.03.22  
Assistant Engineer  
Asansol Municipal Corporation

21.03.2022  
Town Planner  
Asansol Municipal Corporation

21/03/22  
Executive Engineer  
Asansol Municipal Corporation

Plan Sanctioned  
SECRETARY  
Asansol Municipal Corporation

MEMO No. 2006(3)B/P/AMC/HO  
DATE 20/4/2022

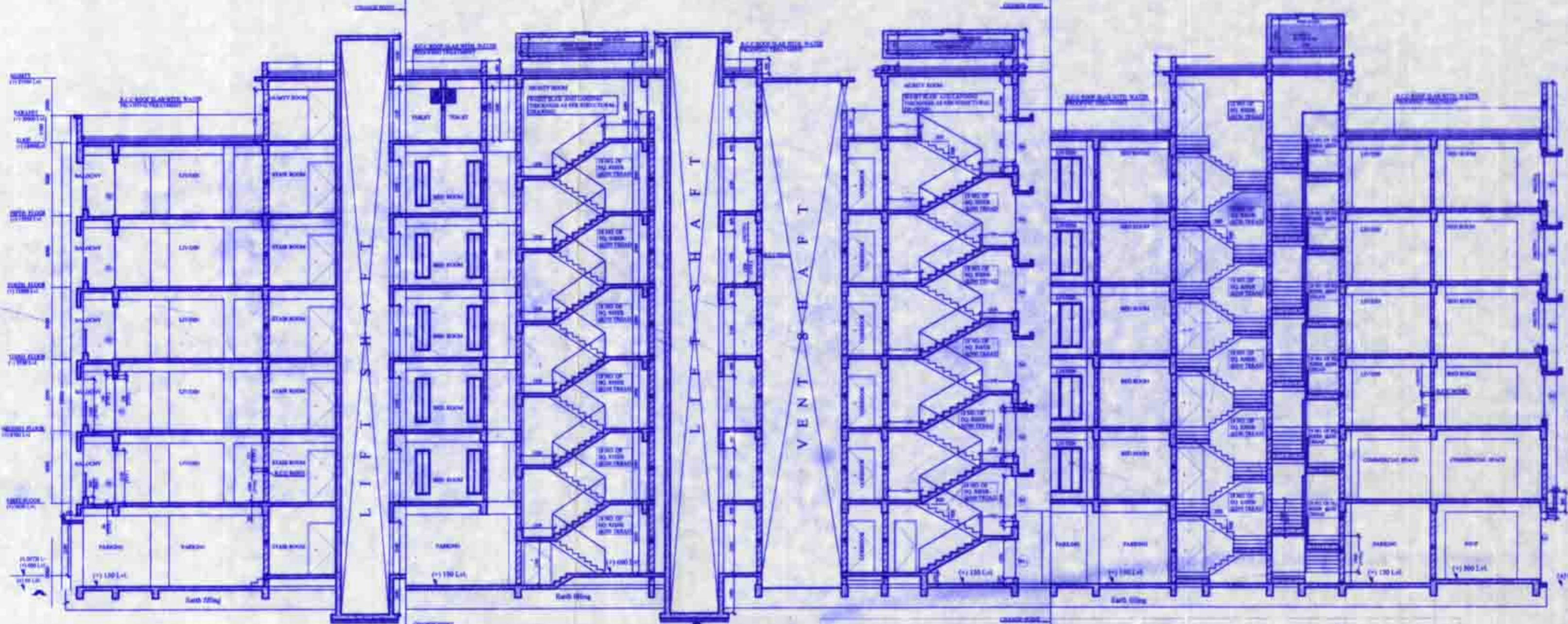
Deviation means Demolition

The sanctioned building plan will remain at Site structural stability lies with The Owner. Sanctioned valid for three years. The owner shall be liable for the regularity of the work & completion of the work.

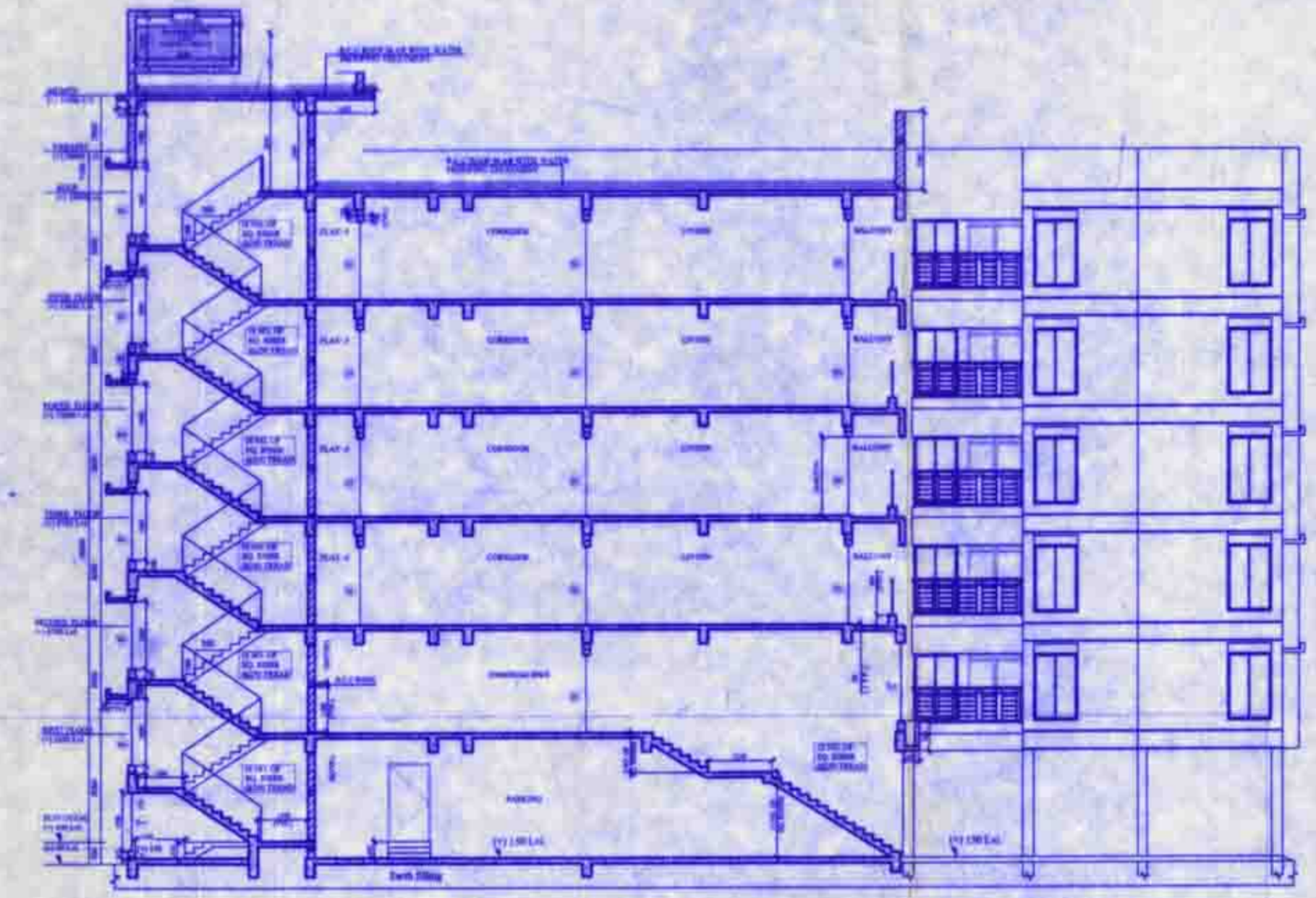
PLINTH LEVEL CERTIFICATE & OCCUPANCY CERTIFICATE ARE MANDATORY AS PER BUILDING REGULATIONS

SANJIV J. PAREKH  
M.E.(STRUCT.), M.E.(CONST. ENGR),  
R.C.E., F.I.E.(E-18202-4),  
F.S.E. No. 104 (I) K.M.C.

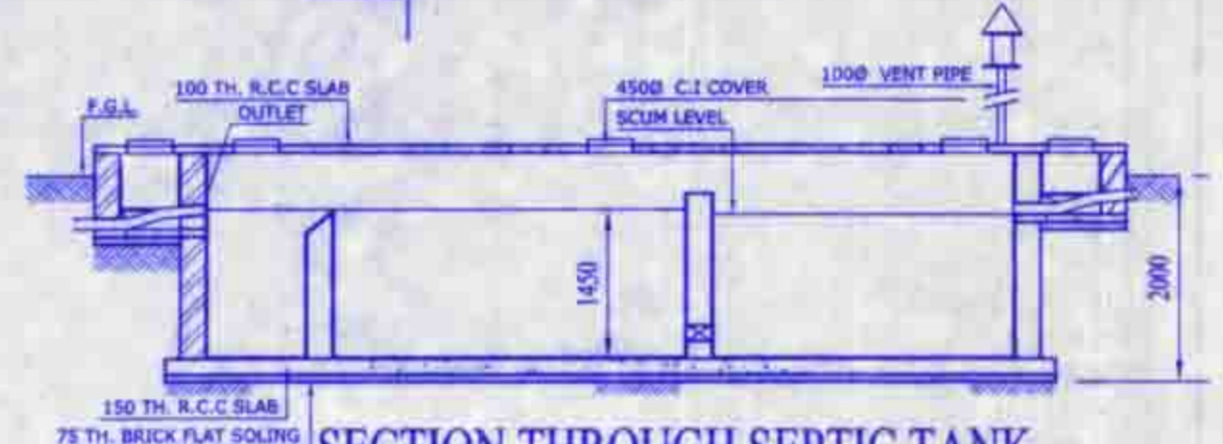
*Chand*  
21.03.22



SECTION AT : B - B

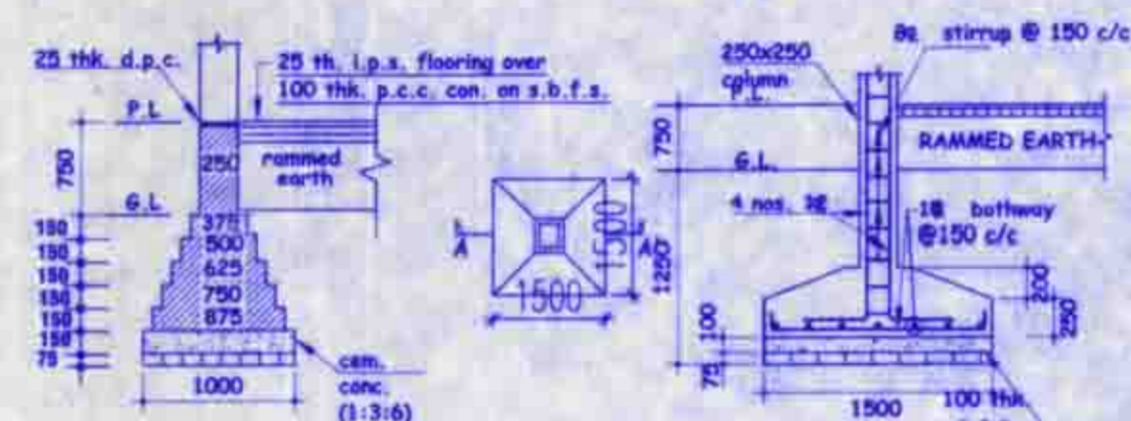


SECTION AT : A - A

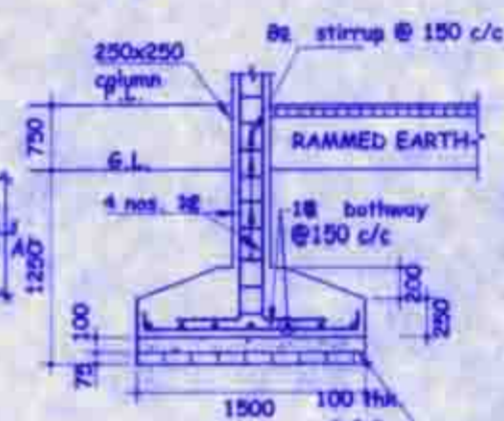


SECTION THROUGH SEPTIC TANK

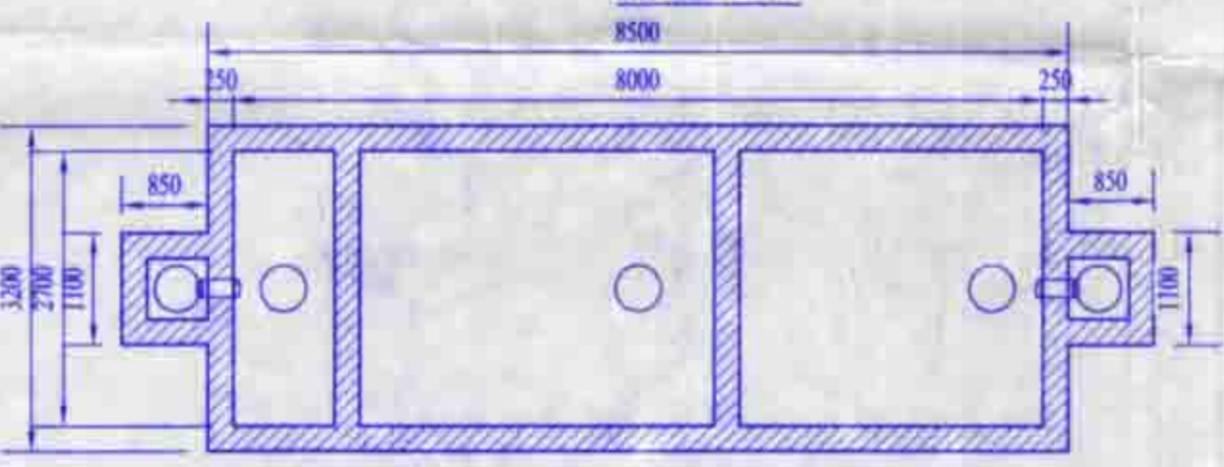
SCALE : 1:75



DETAIL OF 250 THK. BRICK FOUNDATION WALL



DETAIL OF 250X250 R.C.C COLUMN FOUNDATION

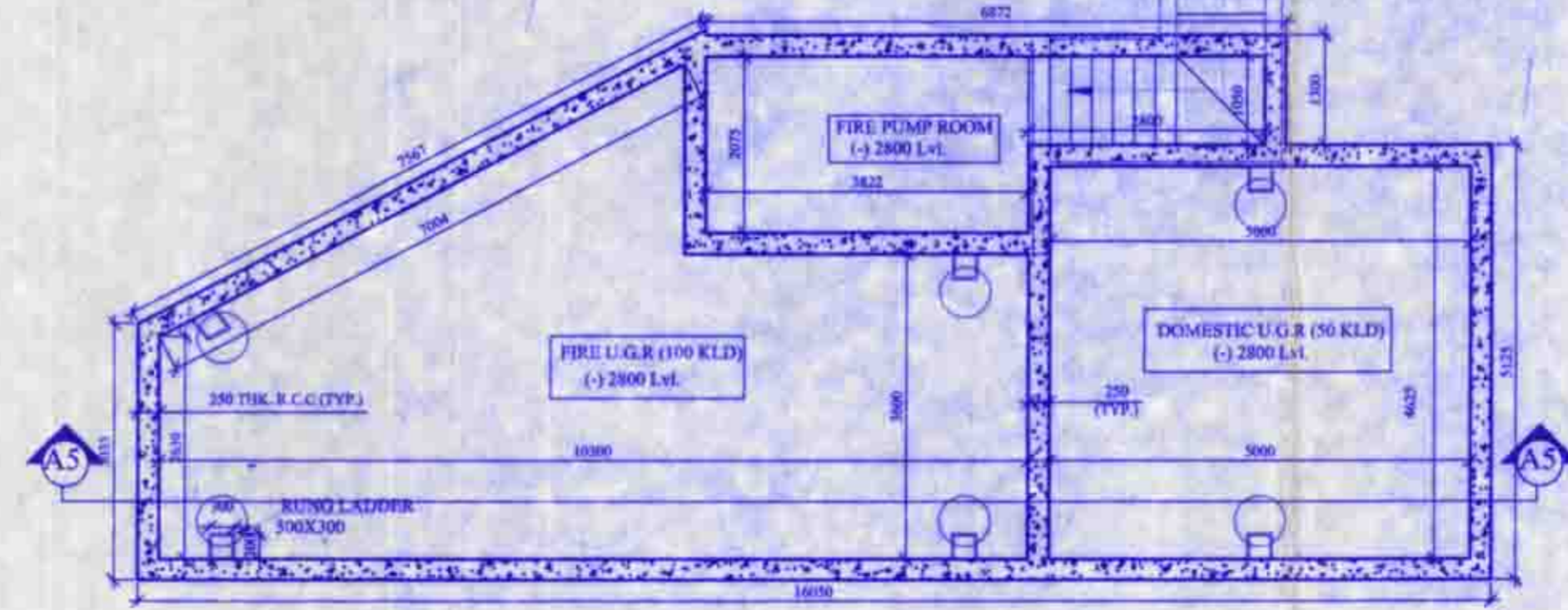


PLAN OF SEPTIC TANK

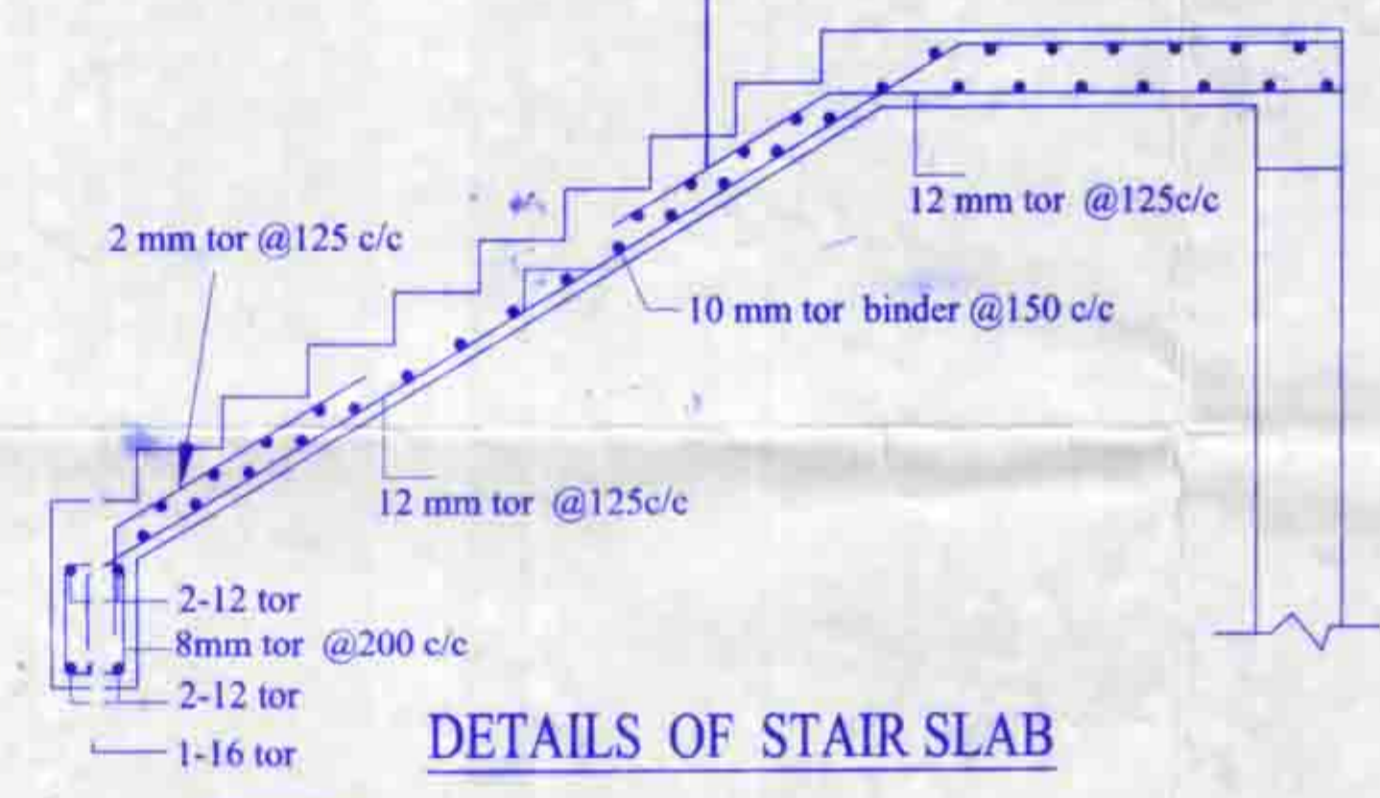
SCALE : 1:75



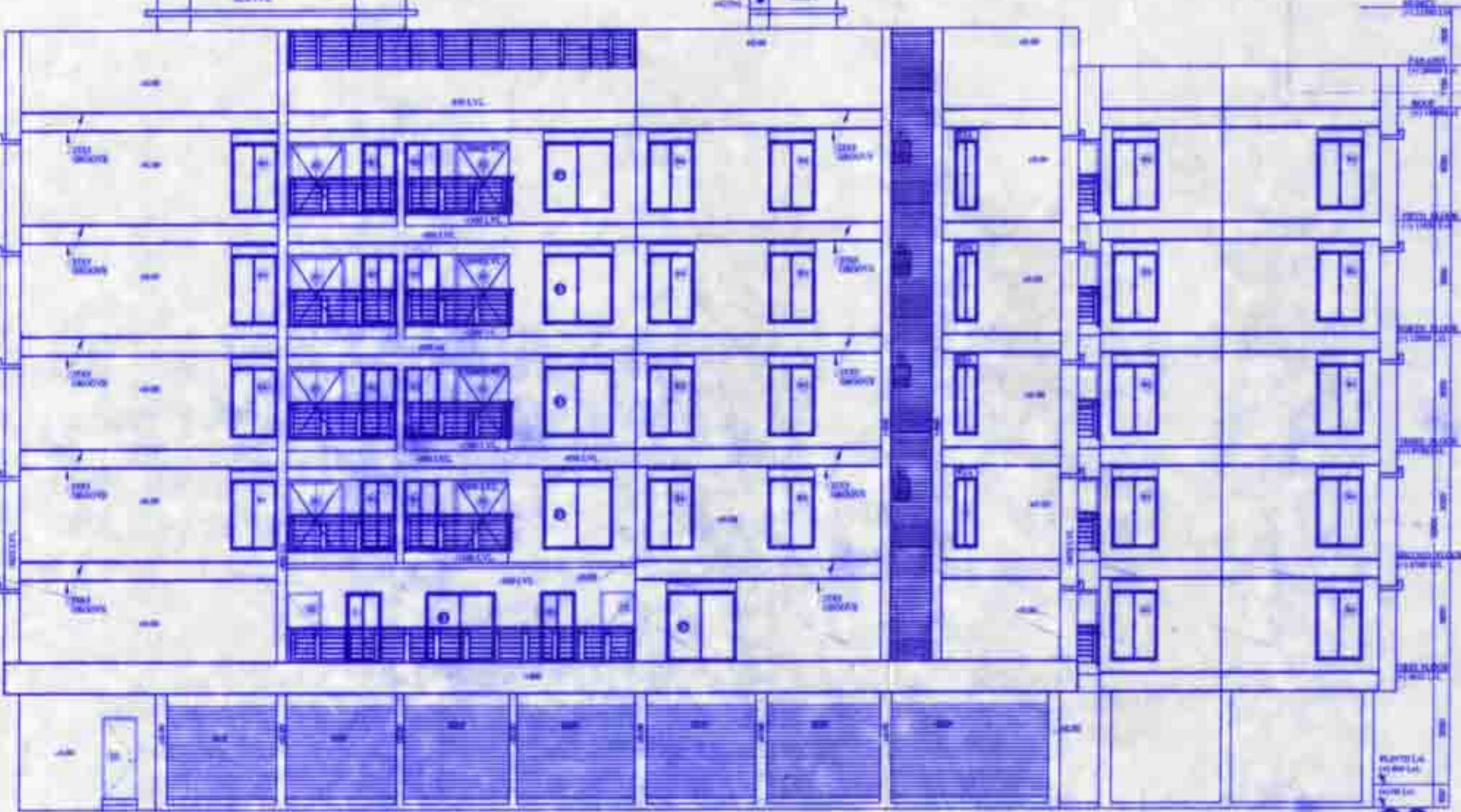
SECTION- A5-A5



PLAN OF SEMI UNDERGROUND STRUCTURE



DETAILS OF STAIR SLAB



FRONT SIDE ELEVATION

**SPECIFICATION**

- ALL DIMENSIONS ARE IN MM. UNLESS OTHERWISE MENTIONED
- GRADE OF CONCRETE M-20(IN SLAB ,BEAM & COLUMNS) & M25 (IN FOUNDATIONS)
- FOR STEEL GRADE FE 415 AS PER I.S. 1786 - 1979
- ALL R.C.C. WORK. ALL LEAN CONC. SHALL BE OF 1:4:8
- ALL BRICK WORK ABOVE 250 TH. ARE IN CEMENT MORTER 1:6
- ALL P.C.C. WORKS ARE IN PROPORTION OF 1:3:6.
- CEMENT PLASTER TO WALLS 1:6 & TO CEILING 1:4



SCALE 1:150

**S C A L E**

● PLAN	1:150
● SECTION	1:150
● ELEVATION	1:150
● DETAILS OF COLUMN AND BEAM	1:50
● DETAILS OF FOUNDATION	1:50
● DETAILS OF STAIR SLAB	1:50

**DECLARATION**

I/WE Here by Declar That The Land is total free from any Dispute & Court Case.

For, Devashilpi Estate Developers Pvt. Ltd.  
*R.K. Malhotra*  
Director

Signature of Owner

*Subhra Chakraborty*  
ARCHITECT  
SUBHRA CHAKRABORTY  
B. ARCH  
CA/2019/108849  
AMC Lic No. - 155/ARCH  
MILAN BANDYOPADHYAY  
*Milans*  
Registered Architect  
CA/2011/22574

SIGNATURE OF THE ARCHITECT

ARCHITECT -  
**SET SQUARE ARCHITECTURE & INTERIORS**  
REGD. OFFICE: 87 / 19 / 1, BOSE PUKUR ROAD, KOLKATA-700042  
E-MAIL : setsquare\_milan@yahoo.com  
PHONE : +91-9831889299 ; (033) 2442 6072.

PRINCIPAL ARCHITECT : MILAN BANDYOPADHYAY  
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**AREA CHART**

TOTAL SITE AREA=2434.97 SQM.
Ground Coverage=1216.68 sqm=49.96% of site
TOTAL VACANT AREA =1218.29 SQM.

**BUILT UP AREA CALCULATION**

GROUND FL AREA= 1217.48 SQM.
1ST FLOOR AREA= 1204.73 SQM.
2ND FLOOR AREA= 1196.47 SQM.
3RD FLOOR AREA= 1196.47 SQM.
4TH FLOOR AREA= 1196.47 SQM.
5TH FLOOR AREA= 1196.47 SQM.
<b>TOTAL BUILTUP AREA=7208.11 SQM.</b>

TOTAL COMMERCIAL AREA AT GROUND & 1ST. FL = 335.92 SQM.  
TOTAL RESIDENTIAL AREA WITH PARKING = 6872.19 SQM.

PERMISSIBLE F.A.R = 3.0  
PROPOSED F.A.R = 2.43